

DISTRICT OF KITIMAT

BYLAW NO. 1981

A BYLAW TO AMEND KITIMAT MUNICIPAL CODE AND KITIMAT ZONING MAP WITH RESPECT TO MIXED USE COMMERCIAL AND RESIDENTIAL LAND USE.

WHEREAS *BC Local Government Act* specifies an *Official Community Plan (OCP)* is a statement of objectives and policies to guide decisions on planning and land use management;

AND WHEREAS *BC Local Government Act* allows a local government to divide portions of a municipality into zones and regulate land, buildings and other structures, including with respect to use, density, siting, size and dimensions and subdivision;

AND WHEREAS *BC Local Government Act* allows for early termination of land use contracts before June 30, 2022;

AND WHEREAS *BC Local Government Act* states that local government with jurisdiction over land subject to a land use contract must, by June 30, 2022, adopt a zoning bylaw that will apply to the land on June 30, 2024;

NOW THEREFORE the Council of the District of Kitimat, in open meeting assembled, ENACTS AS FOLLOWS:

1. This bylaw may be cited as “*650 and 656 Kuldo Amendment Bylaw No. 1981, 2020*”.
2. *Kitimat Municipal Code* is hereby amended by adding and amending text further to provisions outlined as follows, including updating related section numbers and cross-references accordingly:
 - a. Part 9 – PLANNING, Division 1 – General. Subdivision 1 – Interpretation is amended to include the following definition of Multi-Family Residence – Rental Apartments:
“Dwelling, Multi-Family Residence – Rental Apartments” means that apartment dwelling units must be maintained as month-to-month or fixed-term rentals under S481.1 of Local Government Act.
 - b. Part 9 – PLANNING, Division 1 – General. Subdivision 1 – Interpretation is amended to include the following definition of Bicycle Parking:
“Bicycle Parking” means parking spaces designed for bicycle storage. Bicycle parking must provide ability for cyclists to secure bicycles by own lock. Spaces should provide cover to protect bicycles from weather and other concerns.
 - c. Part 9 – PLANNING, Division 5 – COMMERCIAL ZONING – is hereby amended by adding to include:
 - “9.5.1.2 n. *C14 – Kildala Mixed Use Commercial/Residential Zone*”

Bylaw 1981
Schedule "A"

Subdivision 15 - C14 Mixed Use Residential/Commercial Zone

9.5.15. Permitted and Accessory Uses

1. The following principal uses are permitted:
 - a. Motel
 - b. Residential Dormitory
 - c. Dwelling, Multi-Family Residence – Rental Apartments

2. The following accessory uses are permitted:
 - a. Coffee Shop
 - b. Day Care (Adult)
 - c. Home Business Address
 - d. Home Occupation
 - e. Restaurant

 - f. Buildings and structures necessary to accommodate the requirements of the use.
 - g. Office, and storage area associated with principal use

Eligible Land Use for Liquor Primary License

3. Permitted Use:
 - a. Coffee Shop
 - b. Motel
 - c. Restaurant

Conditions of Use

1. Commercial uses are not permitted above residential dwelling units
2. Drive-in or drive-thru restaurants are not permitted
3. Lot Area (Minimum): Motels - 1,690 m²
4. Lot Coverage (Maximum): 25%
5. Floor Area Ratio (Maximum): 0.75
6. Height of Buildings (Maximum): 10 metres
7. Front Yard (Minimum): 4.5 metres
8. Side Yard (Minimum): 4.5 metres
9. Rear Yard (Minimum): 7.5 metres

Off-Street Parking (Minimum)

10. Residential Dormitory – one space for every 4 sleeping rooms plus one space for every two employees.
11. Motels - one space for every two sleeping rooms plus one space for every two employees.
12. Restaurant or coffee shop - one space for every 4.5 square metres GLA.
13. For Multi-Family Residence – one space for every dwelling unit.
14. Notwithstanding 9.5.15.10 to 9.5.15.13, off-street parking (minimum) may be reduced by:
 - (a) One space for each bicycle parking space provided, to a maximum reduction of ten percent;
 - (b) Ten percent when one electric vehicle charging station provided, and twenty percent when two or more electric vehicle charging stations are provided;
 - (c) Notwithstanding 9.5.15.14 (a) and (b), off-street parking must not be reduced beyond 75% of minimum requirement.

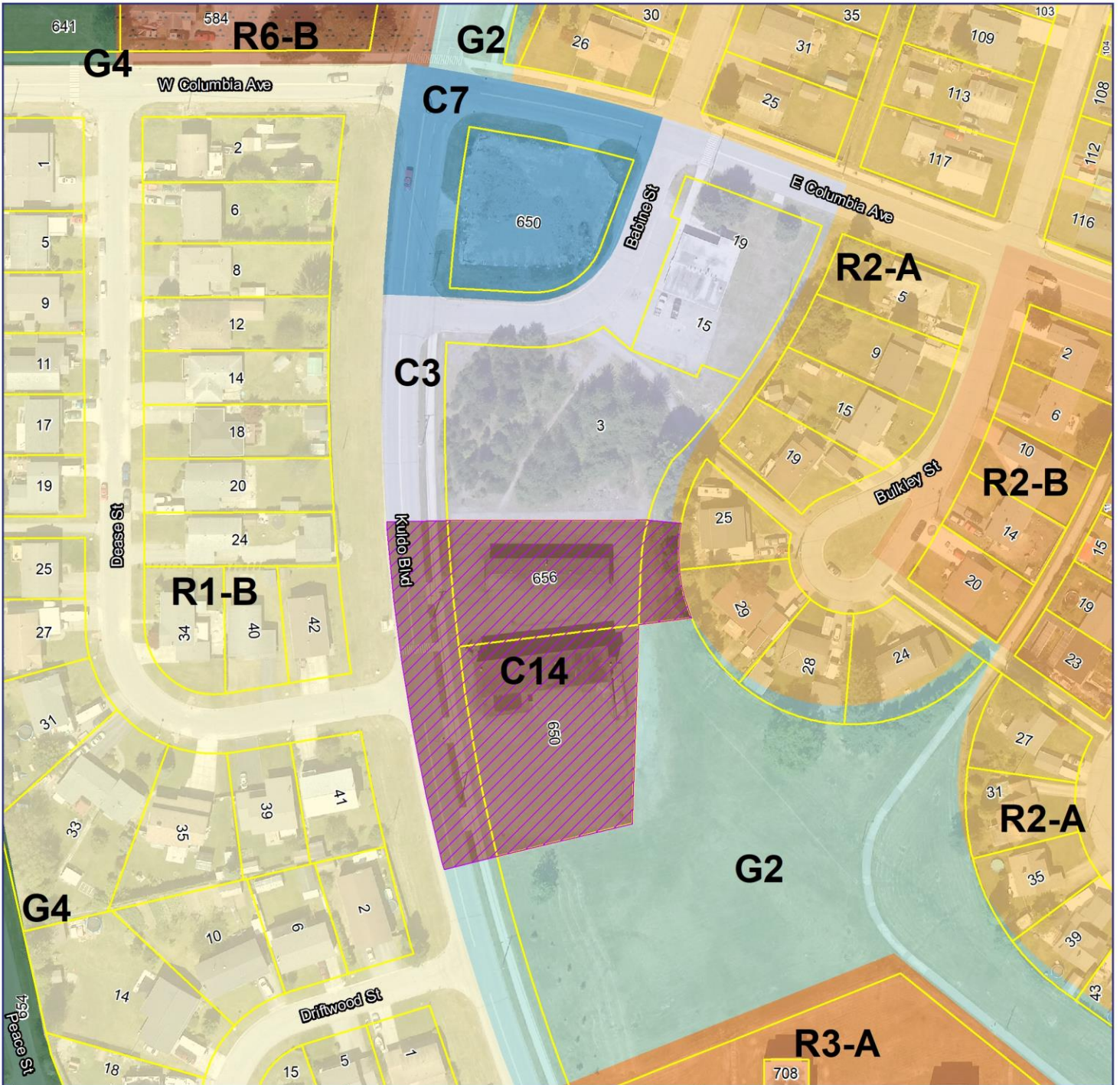
Off-street Loading and Unloading: See 9.5.1.12. and 9.5.1.13.

Access

15. Each access shall be paved if the abutting street is paved
16. For any lot of 15 metres frontage or less: one access not exceeding 4.5 metres in width
17. For any lot of more than 15 metres frontage:
 - a. one access not exceeding 9 metres in width; or
 - b. two accesses, neither of which shall exceed 5 metres in width

Shipping containers as Accessory Buildings and Structures: See 9.5.1.13. to 9.5.1.18.

Signs: See Part 9, Division 3.



- R4-A To re-zone to C14
 - Legal Parcel
 - Lake
 - Stream
- Residential Zone**
- R1-B: One Family - Detached or Semi-Detached
 - R2-A: Two Family - Detached
 - R2-B: Two Family - Detached or Semi Detached
 - R3-A: Multi-Family - Apartment or Terrace
 - R4-A: Multi-Family - Boarding or Rooming Houses
 - R6-B: Special - Mobile Home Parks
- Greenbelt Zone**
- G2: Local Park
 - G4: Recreation
- Commercial Zone**
- C3: Neighbourhood Sub-Centre Zone
 - C7: Service Station Zone



**BYLAW 1981, SCHEDULE B,
PROPOSED C14 KILDALA
MIXED USE COMMERCIAL/
RESIDENTIAL ZONE**

Scale: 1:1,500

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