



File: 7. \_\_\_\_\_  
PID Nbr: 011-979-020  
Roll Nbr: \_\_\_\_\_

### DEVELOPMENT & DEVELOPMENT VARIANCE PERMIT APPLICATION

I/We MARK ZIELINSKI  
(Name of Applicant)

of 1278 ALBATROSS AVE KITIMAT, BC V8C 1P8  
(Mailing Address)

apply for the following permit(s) to manage development on the property specified below.

1. **Permit Type**
- Development Permit \$700
  - Development Variance Permit \$350

2. **Subject Property**

Civic Address 55 KOOTENAY ST, Kitimat, B.C., V8C \_\_\_\_\_

Legal Description \_\_\_\_\_

Lot	Block	District Lot	RP
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Zone \_\_\_\_\_ Property Area \_\_\_\_\_ ha

Official Community Plan Designation \_\_\_\_\_

3. **Existing Use**

Describe existing use and development.

RESIDENTIAL PROPERTY

4. **Proposed Use**

Describe proposed use and development (attach extra pages if necessary).

RESIDENTIAL WITH ADDITIONS

Approximate project start date and completion schedule.

MARCH 1st | 2018.

5. **General Comments**

Reasons and comments in support of application.

GARAGE VARIANCE IS NEEDED (1) WATER LINE LOCATION (2) SAFER ACCESS (3) SIGHT LINES (4) ACCESS OF THE EXISTING HOUSE. ALSO WILL COMPROMISE SEWER LINE.

7. Attachments

The Director of Community Planning and Development may require you provide some or all of the following documents in support of your application. Please attach all documents which are checked as "required". Other information may also be requested.

Required Sketch plan of site showing the parcel(s) to be re-designated (by zoning amendment), existing building, access, services and scale. Measurements should be in metres. Preferred size is 28 cm x 43 cm (11" x 17").

Required Technical information and reports listed below.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Required Copy of (1) State of Title Certificate, or (2) Certificate of Indefeasible Title, for subject property. Copies are available from the Land Title Office, and should be dated no more than thirty days prior to application date.

8. Declarations

a. Property Owner

Where the applicant(s) is/are not the registered property owner(s), the following statement must be signed by the registered owner(s) or the owner's(s)' agent.

This application is made with my/our full knowledge and consent.

Mark Zielowski JAN 14<sup>th</sup> / 2018  
Name(s) Date  
1278 ALBATROSS AVE KIJIMAT BC V8C 1P3  
Mailing Address (incl Postal Code) Authorized Signature(s)  
250-639-3946 MARK.ZIELOWSKI@HOTMAIL.COM N/A  
Phone Email Fax

b. Applicant

I/We declare that statements and information submitted in support of this application are, to the best of my/our knowledge, true and correct.

[Signature] JAN 14<sup>th</sup> / 2018  
Signature(s) Date  
250-639-3946 MARK.ZIELOWSKI@HOTMAIL.COM N/A  
Phone Email Fax

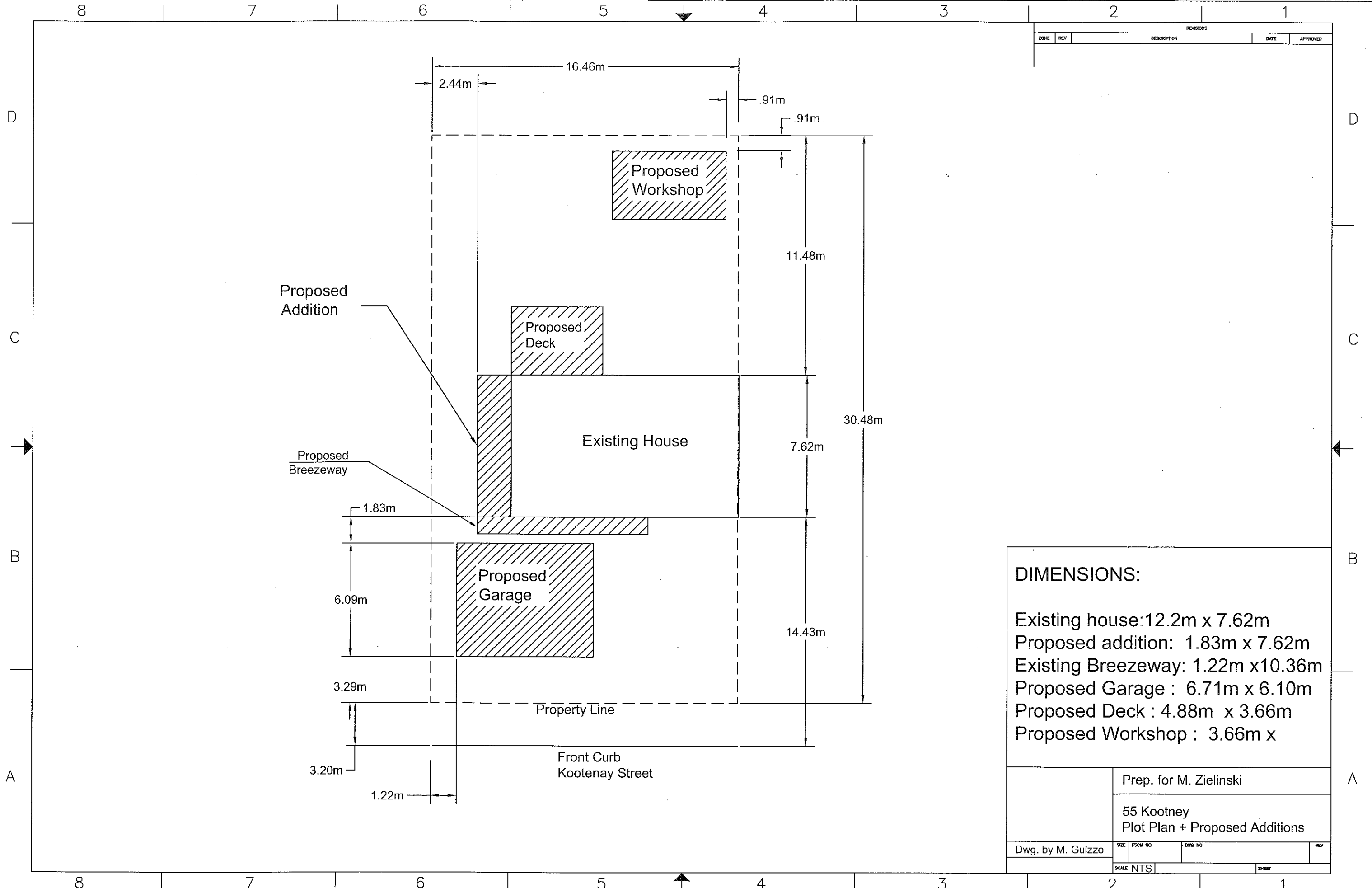
FOR OFFICE USE:

Yes No Application Details Attached? Fee Paid (Date) Initials of Official

Yes No Building Permit Required? Yes No Bldg Permit Application Rcvd?

Circulation: Building Engineering Fire Planning

Department Comment Required by: \_\_\_\_\_ (Date)



REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED

**DIMENSIONS:**

Existing house: 12.2m x 7.62m  
 Proposed addition: 1.83m x 7.62m  
 Existing Breezeway: 1.22m x 10.36m  
 Proposed Garage : 6.71m x 6.10m  
 Proposed Deck : 4.88m x 3.66m  
 Proposed Workshop : 3.66m x

Dwg. by M. Guizzo	Prep. for M. Zielinski			
	55 Kootney Plot Plan + Proposed Additions			
SCALE NTS	SIZE	PSCM NO.	DWG NO.	REV
SHEET				

8 7 6 5 4 3 2 1

REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED

D

D

Asphalt Shingles  
 1/2 sheathing  
 Engineered Trusses @ 4 / 12 pitch  
 .30m Overhangs

C

C

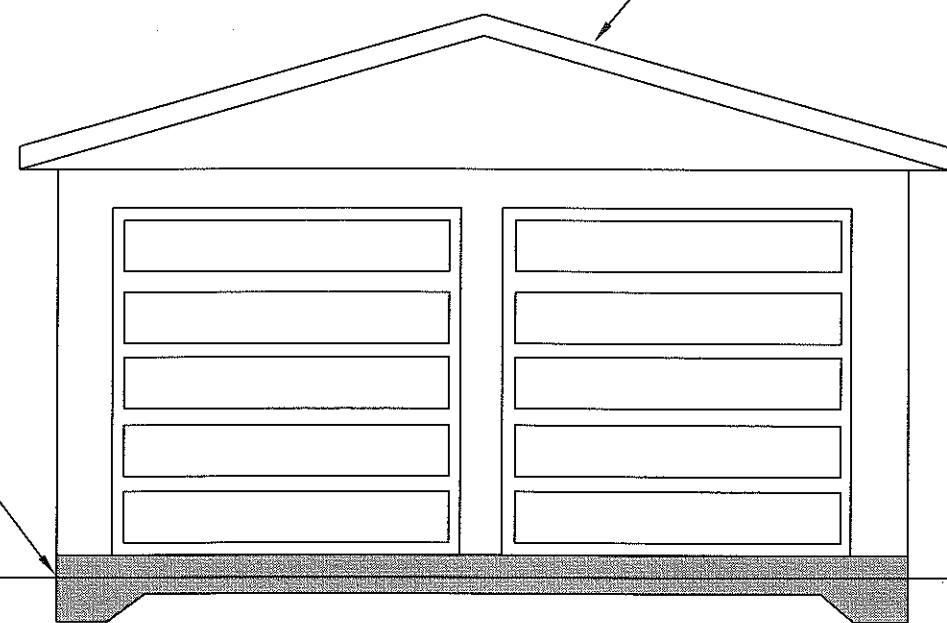
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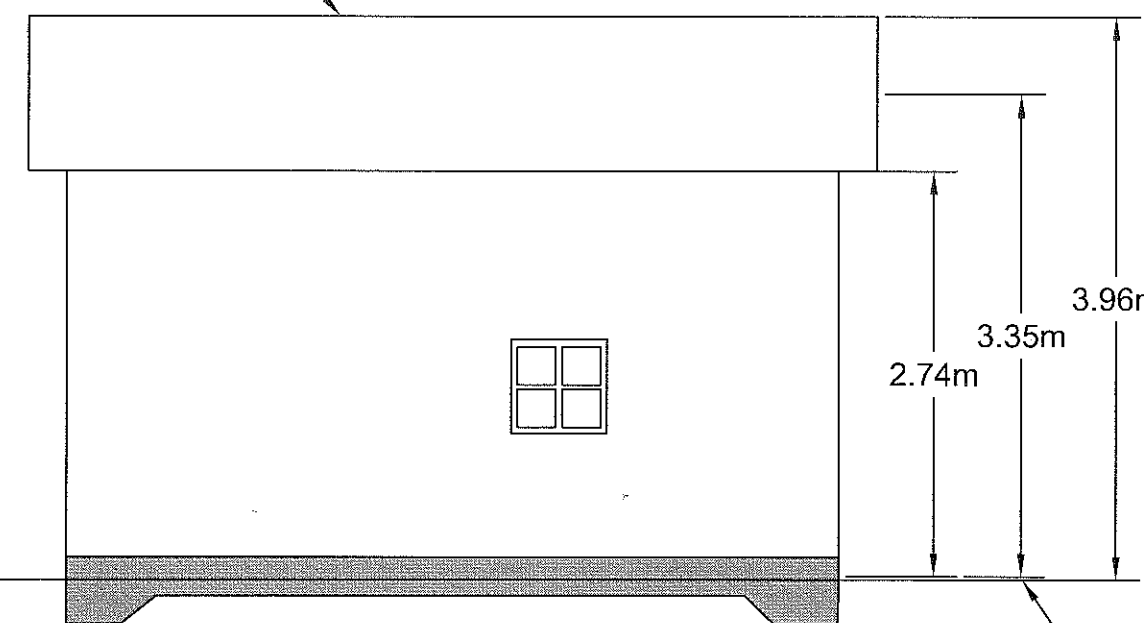
Concrete Slab  
 28 mpa, fibermesh

B

B



North / Front Elevation



West / Side Elevation

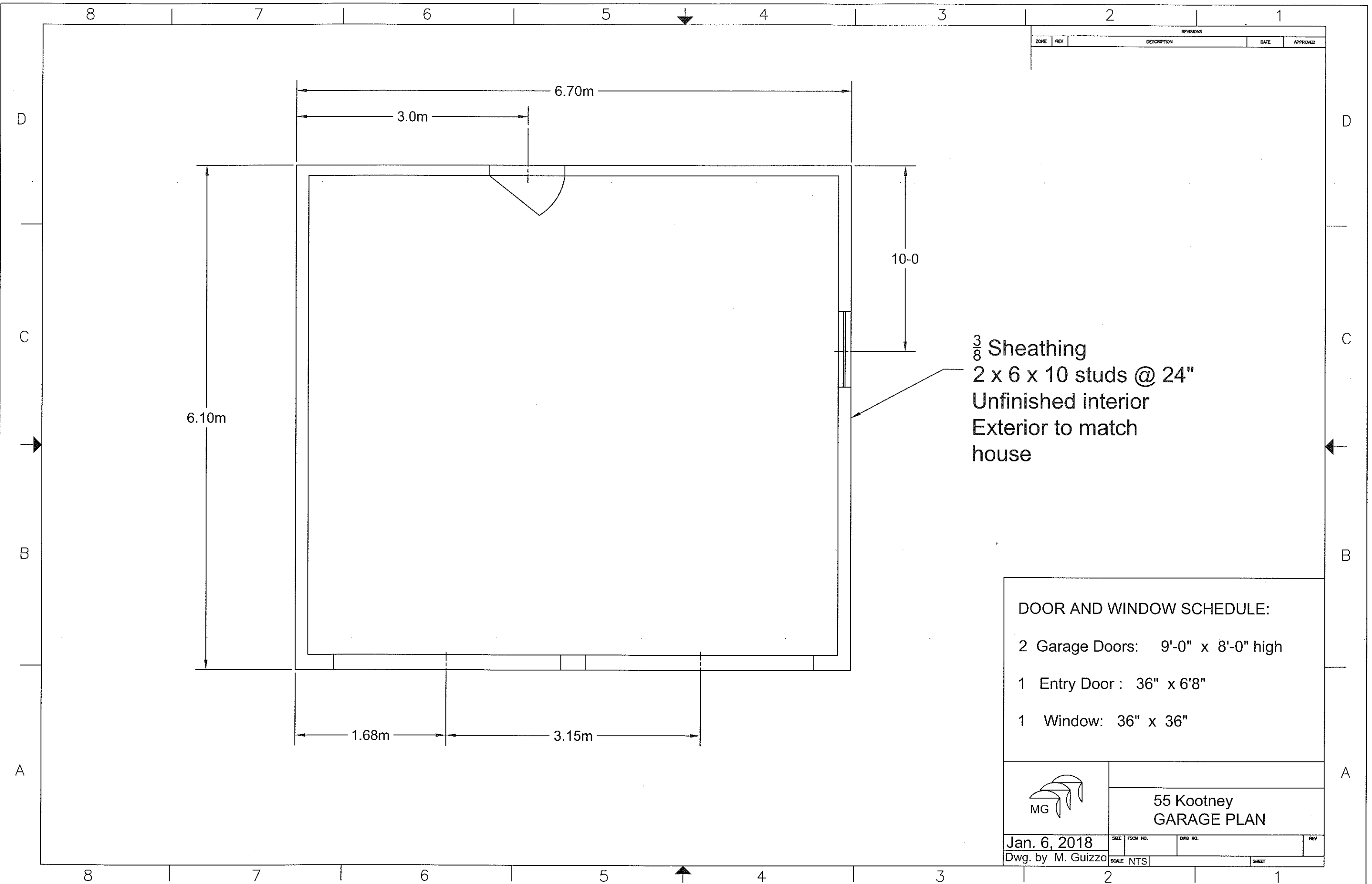
Height at  
 midpoint

A

A

Prep. for M. Zielinski	
55 Kootney Garage Elevations	
Dwg by: M. Guizzo	SIZE FSCM NO. DWG NO. REV
Jan. 6, 2018	SCALE NTS SHEET

8 7 6 5 4 3 2 1



REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED

$\frac{3}{8}$ " Sheathing  
 2 x 6 x 10 studs @ 24"  
 Unfinished interior  
 Exterior to match house

**DOOR AND WINDOW SCHEDULE:**

2 Garage Doors:	9'-0" x 8'-0" high
1 Entry Door:	36" x 6'8"
1 Window:	36" x 36"



**55 Kootney  
GARAGE PLAN**

Jan. 6, 2018	SIZE	FORM NO.	DWG NO.	REV
Dwg. by M. Guizzo	SCALE	NTS	SHEET	